

## **AMENDMENT 133 TO ORDINANCE 60**

### **AN ORDINANCE RELATING TO THE REGULATION OF EROSION AND SEDIMENT CONTROL**

The City Council of the City of Osakis, does ordain:

#### SECTION I:

Osakis City Code, is hereby amended and shall read as follows:

In order to protect water quality, wetlands, and adjacent properties and infrastructure, a property owner or contractor who exposes soil through vegetative alterations, excavation, grading, or filling within the City shall take the necessary precautions, outlined below, to prevent soil erosion and loss of sediment. The City may impose additional erosion control requirements if, in the opinion of a city official, said measures are necessary to protect adjacent properties and control surface water runoff and erosion. In addition to this Ordinance, property owners and contractors shall remain subject to applicable state and federal regulations, including those regulations relating to NPDES permitting requirements and sensitive natural areas.

1. For new construction, appropriate erosion and sediment control measures shall be taken throughout the construction process. They include, but are not necessarily limited to the use of erosion control fences, staked hay bales, wood fiber blankets, seeding and/or mulch. Other techniques or combinations of the above may be used, however, at a minimum. Prior to construction beginning, a silt fence shall be installed downgradient in all directions from the construction site. Said silt fence shall be maintained until final grading and seeding is completed and all vegetation is re-established to a cover of 80% or more. Straw mulch or erosion control blankets are recommended to be placed over/on seeded soils promptly after seeding. Erosion control and sediment control measures shall be maintained throughout construction and until permanent stabilization is achieved.
2. No soil surface or spoil banks shall remain exposed without a protective cover to prevent erosion for a period longer than 30 days. All spoil banks from excavation or fill placed on a lot shall be graded within 30 days of excavation or placement. Stockpiles that will remain unworked for a period of 7 days or more shall be protected with the placement of silt fence around the perimeter of the stockpile and the stockpile shall be seeded with a fast germinating grass such as annual rye grass or oats. During periods when temperatures are too cold for grasses to germinate, stockpiles shall be covered with a tarp. The owner or contractor is urged to grade the lot as soon as possible and to employ the necessary erosion control practices.
3. All areas disturbed by excavation and backfilling operations which expose soil shall be compacted, sodded or re-seeded immediately after the lot is graded. Seed shall be a blend of rye grass or other fast germinated seed in addition to perennial grasses suitable for the soil and the exposure of the area to sunlight. All seeded areas shall be mulched and disc anchored as necessary for erosion protection

and seed retention. The Contractor should recognize that time is of the essence in controlling erosion.

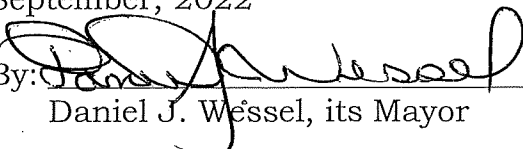
4. Appropriate steps must be taken to minimize the amount of mud and sediment leaving a building site. Therefore, a pad and/or driveway area consisting of granular material such as trap rock, or class five gravel shall be placed over the entire length and width of the proposed driveway location immediately after the basement and/or footing excavation is completed and prior to work beginning on the foundation. If said pad/driveway is not in place, a Stop Work Order shall be issued for the project until said pad is in place. The granular material placed shall be of sufficient quantity, width and depth to prevent the underlying soil from being tracked from the site. Thence forward, access to the lot will be limited to this single access point.
5. Mud and/or sediment carried onto city streets from the building site prior to the close of each work day shall be removed.
6. Temporary erosion and sediment controls shall not be removed until the City has determined that the construction site has been permanently stabilized.
7. Failure to comply with any of the above requirements will result in the issuance of a notice halting construction until the project area is brought into compliance. Failure to remedy the situation within a reasonable time determined by the city will result in the issuance of a citation for violation of this ordinance. Failure to have erosion control measures in place may also result in denial of a Certificate of Occupancy for the structure under construction.
8. Prior to commencing construction within the City, the property owner or contractor shall sign and submit to the City, an Erosion Control Agreement and site plan for the proposed area of construction. The site plan shall identify: (1) all natural and artificial features within 1/2 mile of the project; (2) existing and proposed grades; (3) the area of proposed construction and other land disturbing activity and those areas that will not be disturbed during construction; and (4) locations of proposed runoff control, erosion prevention, sediment control and temporary and permanent soil stabilization measures.

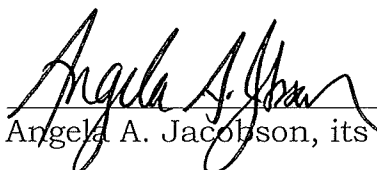
Any person and/or contractor who violates any provision of this Ordinance shall, upon conviction, be guilty of a misdemeanor.

## SECTION II

This Ordinance shall be in full force and effect from and after its passage and publication as required by law.

Passed by the City Council of the City of Osakis, Minnesota, this 12th day of September, 2022

By:   
Daniel J. Wessel, its Mayor

Attests:   
Angela A. Jacobson, its City Clerk